

TOPOGRAPHIC SURVEY

LEGEND

- (NOTE: NOT ALL SYMBOLS MAY APPEAR ON THE MAP)
- (M) FOUND 1/2" REBAR/CAP OR AS NOTED
 - (C) MEASURED DIMENSION
 - (P)(R)(X) CALCULATED DIMENSION PER REF. SURVEY
 - GROUND LIGHT
 - POWER METER PM
 - ELEC. JUNCTION BOX (AS NOTED) EJB
 - CATCH BASIN (CB) II YARD DRAIN AS NOTED
 - CLEANOUT (UNKNOWN)
 - GAS METER
 - IRRIGATION CONTROL VALVE ICV
 - VERTICAL BENCHMARK
 - CONCRETE
 - ASPHALT
 - BUILDING LINE
 - WOOD FENCE
 - METAL FENCE ROD IRON
 - WOOD HANDRAIL
 - GAS LINE - PER PAINOUT
 - APPROX. SEWER MAIN LINE
 - APPROX. SIDE SEWER LINE

NOTES

- INSTRUMENTATION FOR THIS SURVEY WAS A SOKKIA SX ROBOTIC TOTAL STATION & CARLSON BRx7 GPS UNIT.
- PROCEDURES USED WERE FIELD TRAVERSE & REAL-TIME KINEMATIC GPS SOLUTIONS, DERIVED FROM THE WASHINGTON STATE REFERENCE NETWORK (WSRN), MEETING OR EXCEEDING STANDARDS SET BY WAC 332-130-090.
- THIS MAP REPRESENTS A JOB PERFORMED BY ME OR MY CONSTITUENTS AND CAN ONLY BE CONSIDERED AS REPRESENTATIVE OF THE SITE AT THE TIME OF MY SURVEY, MARCH, 2023.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS, RESTRICTIONS OR RESERVATIONS OF RECORD WHICH WOULD BE DISCLOSED BY TITLE REPORT, OR OTHERWISE IF ANY.
- UTILITIES SHOWN HEREIN ARE FROM FIELD LOCATION AT CENTER OF RIM AND THEIR EXACT LOCATIONS SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. ANY LINES SHOWN HEREIN WERE DRAWN CENTER RIM TO CENTER OF RIM OR FROM ONLINE REFERENCE AS BUILT INFORMATION & ARE SHOWN FOR VISUAL REFERENCE ONLY. NO GUARANTEE IS MADE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
- THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN HEREON ARE BASED UPON READILY AVAILABLE PLATS/SURVEYS/RIGHT OF WAY PLANS AND ARE SHOWN FOR GRAPHIC PURPOSES ONLY. NO PROPERTY CORNERS WERE SET AS PART OF THIS SURVEY.
- CONTOURS SHOWN HEREON ARE AT A 2-FOOT INTERVAL, AND SO THEIR RELATIVE ACCURACY IS ±1 FOOT.
- LOT AREA AS SHOWN (15,403 SF) IS ALL LOT AREA LYING WESTERLY FROM THE WESTERLY EDGE OF WATER OF LAKE WASHINGTON, AS LOCATED ON MARCH 23RD, 2023.

BASIS OF BEARINGS

HELD A BEARING OF S88°33'02"E BETWEEN FOUND BOUNDARY MARKERS ALONG THE SOUTH LINE OF THE SUBJECT PARCEL. SAID LINE BEING AN EASTERLY EXTENSION OF LOT 3, OF CORRECTION SURVEY RECORDED UNDER KING COUNTY RECORDING NO. 7810239009

REFERENCES

- (P) PLAT OF HENDRICKS ADDITION, VOL. 105, PG. 89, BOOK OF PLATS.
(R1) CORRECTION SURVEY RECORDED UNDER, REC # 7810239009

ALL RECORDS OF KING COUNTY, WA.

VERTICAL DATUM - NAVD88

GPS VERTICAL PRIMARY VERTICAL CONTROL WAS ESTABLISHED USING THE ELLIPSOIDAL HEIGHTS DERIVED BY GPS MEASUREMENTS AND CONVERTING THEM TO ORTHOMETRIC ELEVATIONS USING GEOID 2018 CONVERSION. (NAVD 88)

SITE BENCHMARKS

- TBM 1:** MAG NAIL W/PINK FLAGGING IN ASPHALT DRIVEWAY, AS SHOWN ON MAP ELEVATION = 41.28'
TBM 2: SET HUB IN EASTERLY YARD W/ TACK, AS SHOWN ON MAP ELEVATION = 27.15'

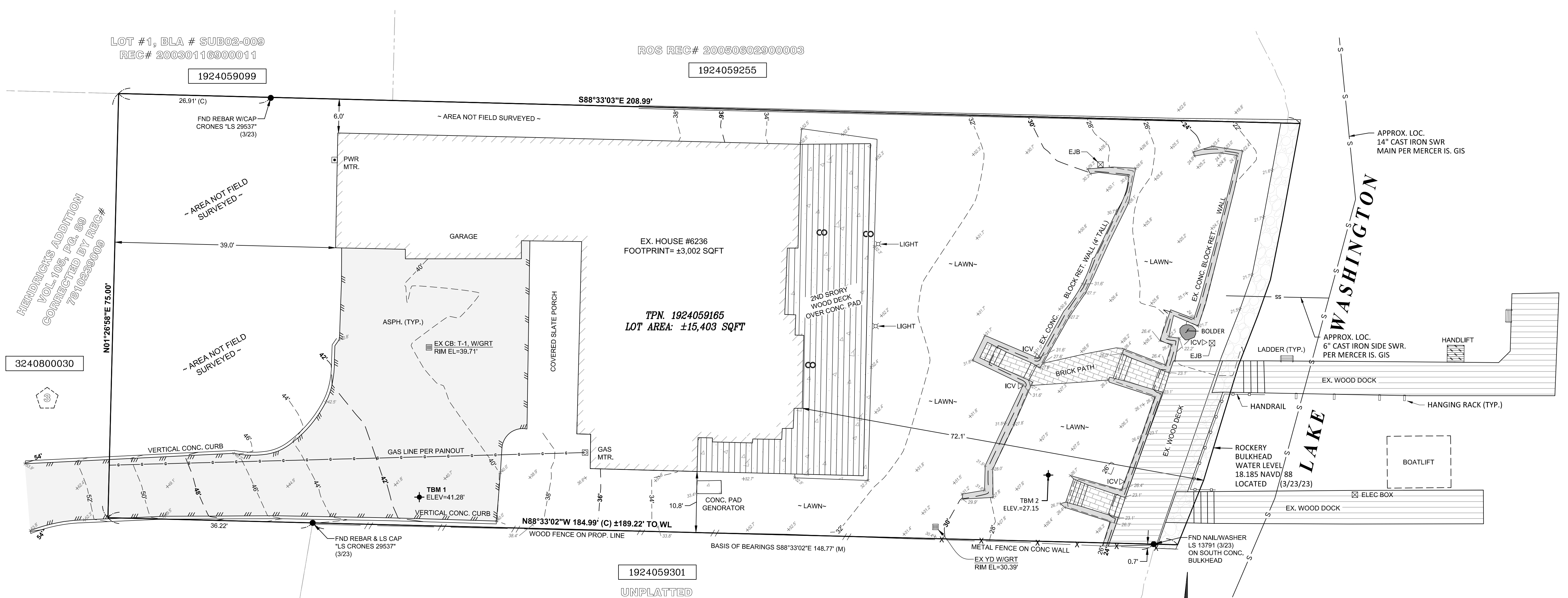
LEGAL DESCRIPTION

THE NORTH 75 FEET OF THE SOUTH 400 FEET OF THAT PORTION OF GOVERNMENT LOT 4, SECTION 19, TOWNSHIP 24 NORTH, RANGE 5 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY, WASHINGTON, LYING EAST OF A LINE DRAWN PERPENDICULAR TO THE SOUTH LINE OF SAID SUBDIVISION AND 425.14 FEET, MEASURED ALONG SAID SOUTH LINE EASTERLY FROM THE EAST MARGIN OF EAST MERCER WAY, AND THE WESTERLY 9.23 FEET, MORE OR LESS, OF WHICH PARCEL WAS ERRONEOUSLY DELINEATED AS A PORTION OF LOT 3 ON THE PLAT OF HENDRICKS ADDITION, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 105 OF PLATS, PAGE 89, IN KING COUNTY, WASHINGTON, AND WAS SUBSEQUENTLY CORRECTED BY AFFIDAVIT OF OWNERSHIP RECORDED UNDER RECORDING NUMBER 7810230651 AND BY BOUNDARY LINE CORRECTION RECORDED IN VOLUME 15 OF SURVEYS, PAGE 59, AND RECORDED UNDER RECORDING NUMBER 7810239009;

TOGETHER WITH SECOND CLASS SHORELANDS IN FRONT OF, ADJACENT TO OR ABUTTING THEREON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

(PER DEED OF TRUST RECORDED UNDER REC. NO. 20130807002045)



EX. IMPERVIOUS SURFACES

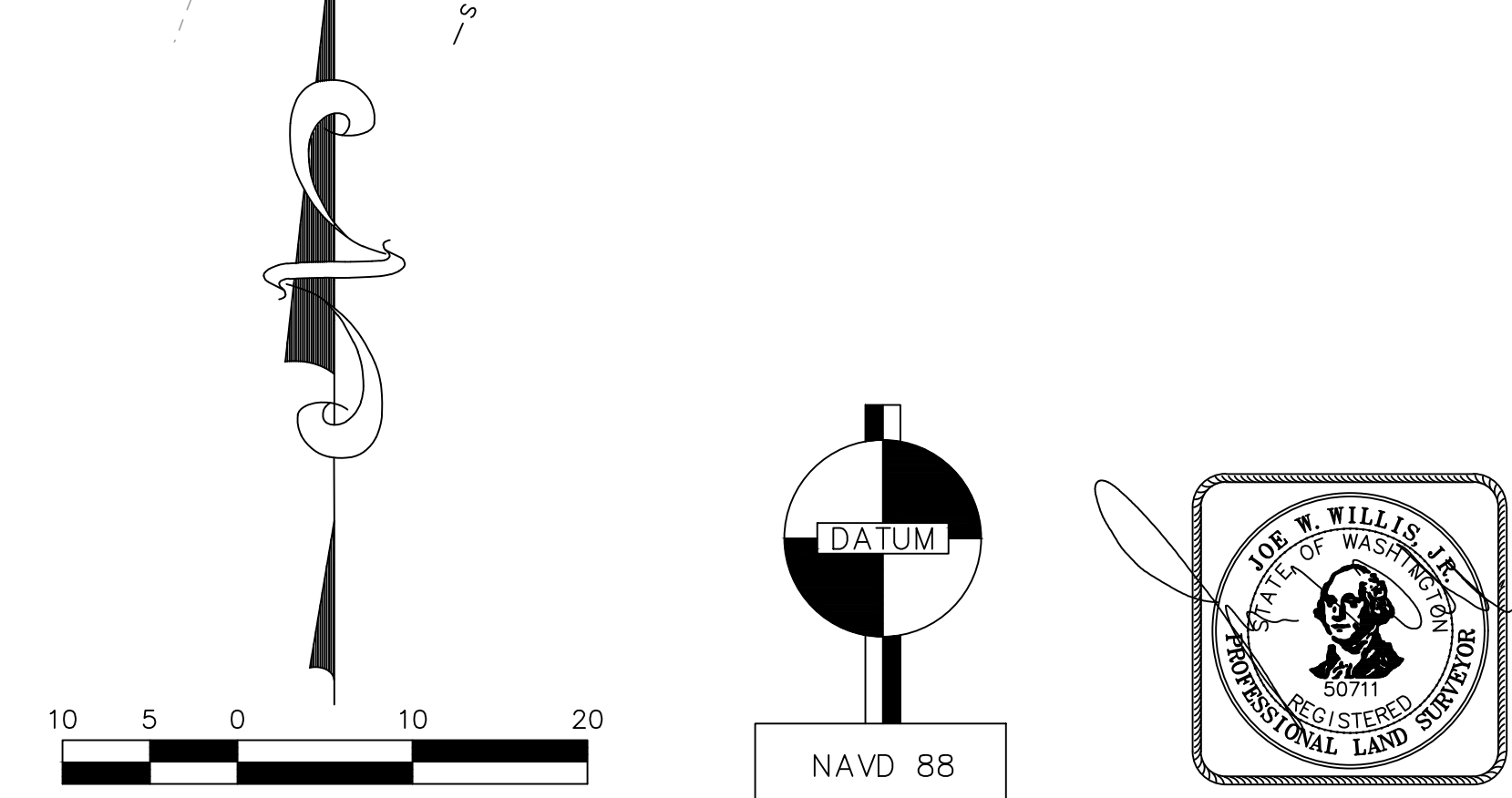
TOTAL LOT AREA: ±15,403 SQFT

EXISTING IMPERVIOUS AREAS:

- BUILDING FOOTPRINT: ± 3,002 SQFT
- ASPHALT: ±1,989 SQFT
- CONCRETE: ± 937 SQFT
- BRICK/PAVERS: ± 173 SQFT
- DECK: ± 355 SQFT (LANDWORD OF LAKE)

TOTAL IMPERVIOUS AREA: ±6,456 SQFT
TOTAL IMPERVIOUS COVERAGE: 41.9%

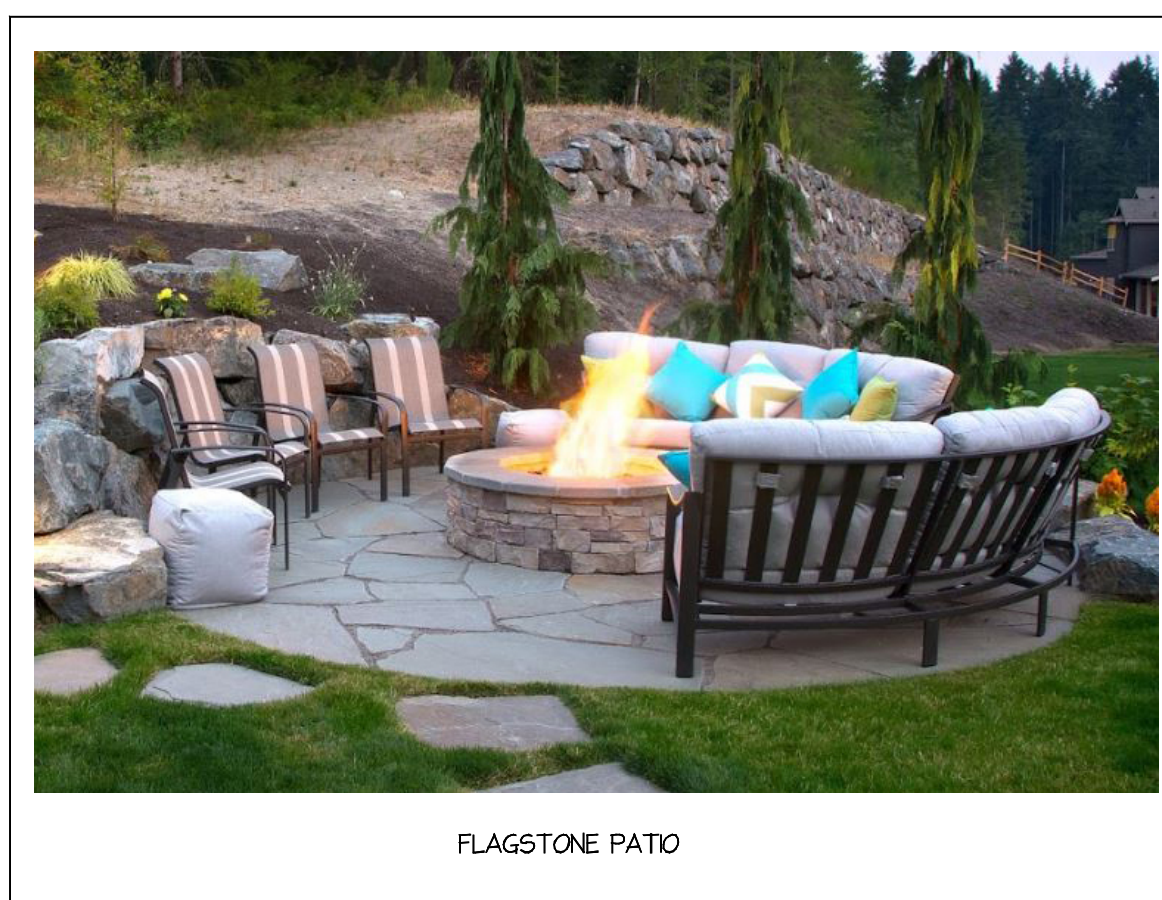
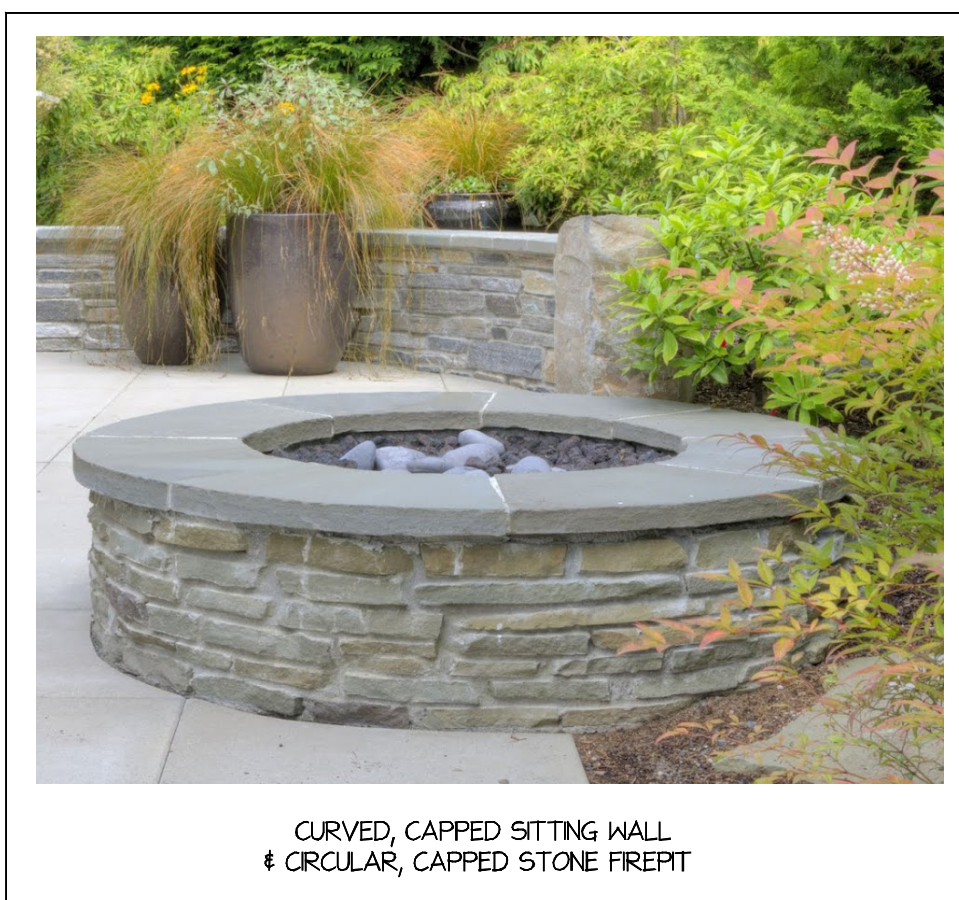
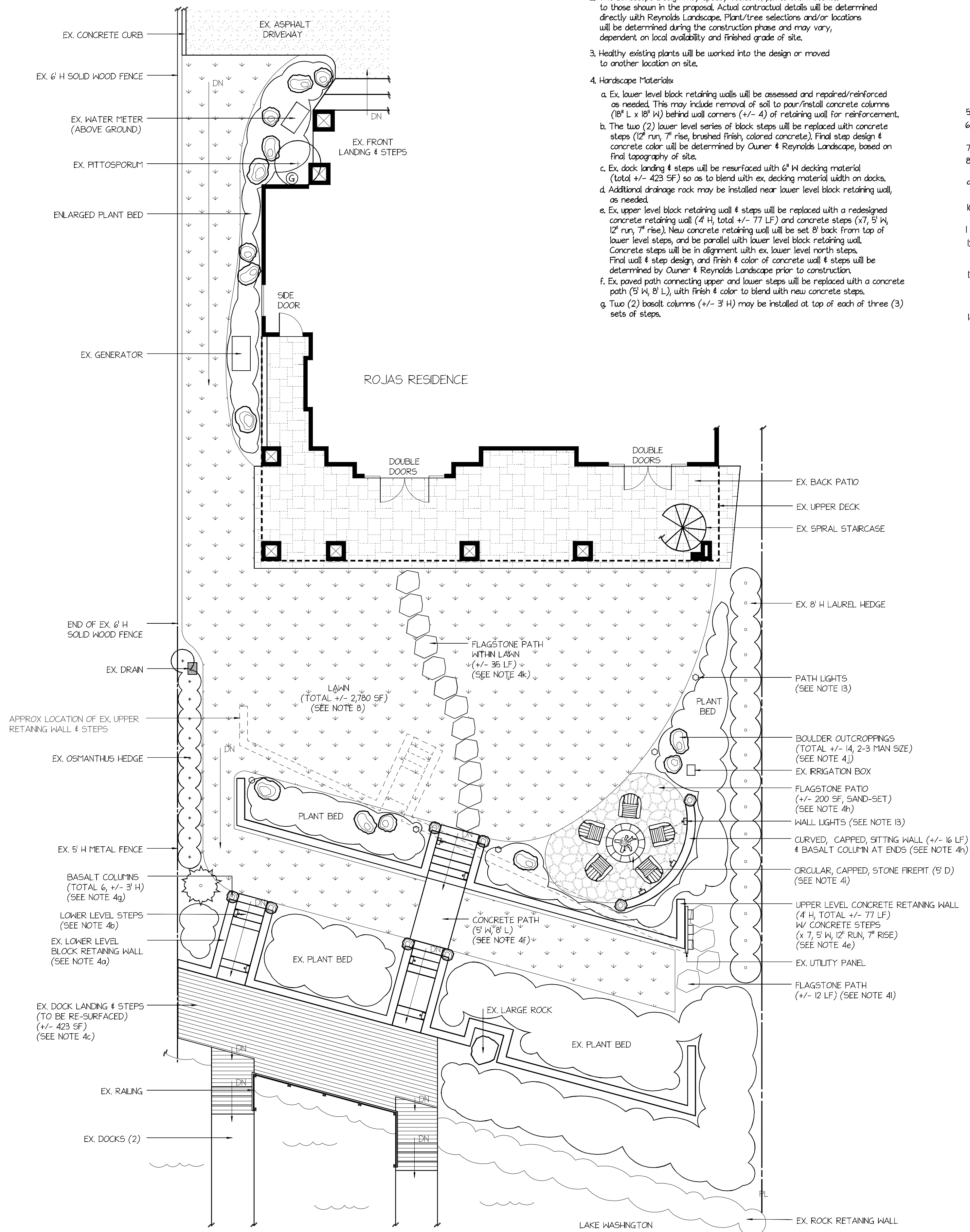
Revision		Title:	TOPOGRAPHIC SURVEY PORTION OF THE SE1/4 OF THE SE1/4 OF SEC. 19, T24N, R5E, W.M. MERCER ISLAND, KING COUNTY, WASHINGTON
No.	Date	By	Cld. / Appr.
ANTHONY ROJAS 6236 E MERCER WAY MERCER ISLAND, WA 98040 TPN. 1924059165			
Scale:	Horizontal 1"=10'	Vertical	For:
Designed: JWW	Drawn: JWW	Checked: JWW	Approved: JWW
Date: 4/10/23			
ALL Land Surveying, LLC. 1901 Vernon Rd, Unit C Lake Stevens, WA 98258 P.O. Box 440 Lake Stevens, WA 98258 Professional Land Surveyors Email: info@AllLandSurveying.com Phone: (360) 568-4031			
Job Number: 23027	SHEET	1	of 1



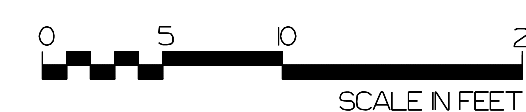
CONSTRUCTION NOTES:

- The Landscape Design property line boundaries were drawn by Elaine McEnery on 12/19/19 per King County Map and rough measurements taken on site. Actual property lines to be confirmed between Owner & Reynolds Landscape prior to construction.
- This Landscape Design may specify additional plants and materials to those shown in the proposal. Actual contractual details will be determined directly with Reynolds Landscape. Plant/tree selections and/or locations will be determined during the construction phase and may vary, dependent on local availability and finished grade of site.
- Healthy existing plants will be worked into the design or moved to another location on site.
- Handscape Materials:
 - Ex. lower level block retaining walls will be assessed and repaired/reinforced as needed. This may include removal of soil to pour/install concrete columns (18" L x 18" W) behind wall corners (+/- 4) of retaining wall for reinforcement.
 - The two (2) lower level series of block steps will be replaced with concrete steps (12" run, 7" rise, finished finish, colored concrete). Final step design & concrete color will be determined by Owner & Reynolds Landscape, based on final topography of site.
 - Ex. dock landing & steps will be resurfaced with 6" W decking material (total +/- 423 SF) so as to blend with ex. decking material width on docks.
 - Additional drainage rock may be installed near lower level block retaining wall, as needed.
 - Ex. upper level block retaining wall & steps will be replaced with a redesigned concrete retaining wall (4 H, total +/- 77 LF) and concrete steps (x7, 5 W, 12" run, 7" rise). New concrete retaining wall will be set 8" back from top of lower level steps, and be parallel with lower level block retaining wall. Concrete steps will be in alignment with ex. lower level north steps. Final wall & step design, and finish & color of concrete wall & steps will be determined by Owner & Reynolds Landscape prior to construction.
 - Ex. paved path connecting upper and lower steps will be replaced with a concrete path (5 W, 8' L), with finish & color to blend with new concrete steps.
 - Two (2) basalt columns (+/- 3' H) may be installed at top of each of three (3) sets of steps.

- A flagstone patio (+/- 200 SF, sand-set) will be constructed within upper lawn, and include a curved, capped sitting wall (+/- 16 LF) w/ end-basalt columns. Final patio & sitting wall design, location and materials will be determined by Owner & Reynolds Landscape prior to construction.
 - A circular, capped stone firepit (5' D, wood or gas-burning) may be installed within flagstone patio. Final materials will be determined by Owner & Reynolds Landscape prior to construction.
 - Boulder outcroppings (total +/- 14, 2-3 man size) will be installed within plant bed on south side of house, and within plant bed adjacent to upper lawn area, for slope retention and added visual interest. Final location of boulders will be determined by Reynolds Landscape per final site topography and for optimal aesthetics.
 - A winding path (+/- 35 LF) of large flagstones set within lawn will be constructed to connect ex. back patio with upper level concrete steps.
 - A flagstone path (+/- 12 LF) will be constructed to provide access to ex. utility panel located at north end of upper level retaining wall.
- Ex. two (2) metal gates adjacent to ex. dock landing will be removed.
 - Ex. block retaining wall & small rocks will be removed from area adjacent to water meter near front entrance.
 - Ex. lavender and cananthus plants adjacent to dock landing will be removed.
 - Ex. lawn areas will be rototilled, regraded, amended as needed, redefined and replaced with hydroses (or sod) (total +/- 2,780 SF).
 - All current drainage issues within area of scope of work will be addressed, including addition of gravel/soil mix within sloped lawn area on south side of house.
 - Existing soil in plant beds will be amended with high quality topsoil per details specified in Reynolds Landscape contract.
 - Mulch will be spread in plant beds following new plantings.
 - The existing irrigation system within area of scope of work will be redesigned to accommodate new plant beds and redefined lawn areas. Final irrigation details will be confirmed with Reynolds Landscape prior to construction.
 - Low-voltage, outdoor lighting will be installed. Suggest wall lights on both side of each series of steps & for lighting wall, path lights within plant beds, and uplighting of specimen trees as appropriate. Final selection & locations of light fixtures will be determined by Owner and Reynolds Landscape prior to construction.
 - Construction access will be via south side of house.



Photos are examples only. Refer to final Reynolds Contract for details.



REYNOLDS
Reynolds Landscape Company
P.O. Box 2281
Woodville, WA 98072
(425) 487-6641
www.reynoldslandscape.com

Notes:

Revisions:

LANDSCAPE DESIGN

ROJAS RESIDENCE

6236 East Mercer Way
Mercer Island, WA
98040

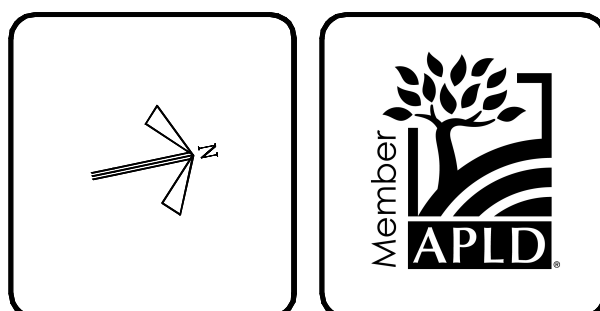
Scale: 1" = 8'-0"

Date: 1/20/20

Date of print:

Drawn by: E. McEnery

Page 1
of 1



BUILDING CODE
2021 INTERNATIONAL BUILDING CODE
FOUNDATIONS

1. THE FOUNDATION DESIGN IS BASED ON THE RECOMMENDATION IN THE GEOTECHNICAL REPORT # EX-9013 PROVIDED BY EARTH SOLUTIONS NW LLC. DATE MAY 5, 2023. FOUNDATION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THIS REPORT.

2. THE FOUNDATION DESIGN IS BASED ON THE FOLLOWING VALUES:
 ALLOW. SOIL BEARING = 2500 PSF
 SOIL FRICTION = .4
 EQUIV. FLUID PRESSURES:
 *ACTIVE PRESSURE = 35 PCF
 *PASSIVE PRESSURE = 300 PCF
 *(WALLS RESTRAINED AGAINST ROTATION SHALL BE DESIGNED FOR AN EQUIV. FLUID PRESSURE OF 55 PCF).
 SEISMIC SURCHARGE = 8H

3. ALL FOOTINGS SHALL BE FOUNDED AT LEAST 18" BELOW THE UNDISTURBED GROUND SURFACE OR TO FROST DEPTH. ALL FOOTINGS SHALL BE FOUNDED ON COMPACTED FILL OR UNDISTURBED NATURAL GRADE UNLESS OTHERWISE NOTED.

4. COMPACTION: MATERIAL FOR FILLING AND BACKFILLING SHALL CONSIST OF THE EXCAVATED MATERIAL AND/OR IMPORTED BORROW AND SHALL BE FREE OF ORGANIC MATTER, TRASH, LUMBER, OR OTHER DEBRIS. ALL WALLS SHALL BE ADEQUATELY BRACED PRIOR TO BACKFILLING. FILL AND BACKFILL SHALL BE DEPOSITED IN LAYERS NOT TO EXCEED 8 INCHES THICK, PROPERLY MOISTENED TO APPROXIMATE OPTIMUM REQUIREMENTS AND THOROUGHLY ROLLED OR COMPACTED WITH APPROVED EQUIPMENT IN SUCH A MANNER AND EXTENT AS TO PRODUCE A RELATIVE COMPACTION OF 90% OF MAXIMUM POSSIBLE DENSITY AS DETERMINED BY ASTM D1557. HAND TAMPERS SHALL WEIGH AT LEAST 50 POUNDS EACH AND SHALL HAVE A FACE AREA NOT IN EXCESS OF 64 SQUARE INCHES. HAND TAMPERS MAY BE OPERATED EITHER MANUALLY OR MECHANICALLY AND SHALL BE USED WHERE LARGER POWER DRIVEN COMPACTION EQUIPMENT CANNOT BE USED. FILL OVER 12" DEEP SHALL COMPLY WITH A GEOTECHNICAL REPORT.

REINFORCING STEEL

1. ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 (fy = 60 KSI) FOR BAR SIZES NO. 5 & LARGER, GRADE 40 (fy = 40 KSI) FOR NO. 3 AND NO. 4 BARS.

2. ALL REINFORCING STEEL SHALL BE LAPPED AS NOTED ON THE PLANS. WHERE LAP OR SPLICE LOCATIONS ARE NOT SPECIFICALLY INDICATED ON THE CONSTRUCTION DOCUMENTS, LAPS AND/OR SPLICES SHALL BE 42 BAR DIA AND BE WELL STAGGERED.

3. COMPLETE REINFORCING PLACEMENT DRAWINGS PREPARED IN ACCORDANCE WITH ACI 315 SHALL BE REVIEWED BY THE ENGINEER AND AVAILABLE ON THE JOB SITE PRIOR TO THE PLACING OF CONCRETE.

4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A82 AND A185 AND SHALL BE 6x6 W2.1/W2.1 UNLESS OTHERWISE NOTED. LAP REINFORCEMENT 6" MINIMUM.

5. ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE BEFORE CONCRETE IS POURED. SLAB ON GRADE REINFORCEMENT SHALL BE PLACED AT MID-DEPTH OF SLAB AND SHALL BE HELD SECURELY IN PLACE WITH MECHANICAL DEVICES DURING PLACING OF THE CONCRETE.

6. REINFORCEMENT SHALL PLACED CONTINUOUS AROUND CORNERS AND INTERSECTIONS UNLESS SPECIFIED OTHERWISE.

CONCRETE

1. ALL CONCRETE UNLESS OTHERWISE NOTED SHALL BE REGULAR WEIGHT HARD ROCK TYPE (150 PCF) AGGREGATES SHALL CONFORM TO ASTM C33 WITH PROVEN SHRINKAGE CHARACTERISTICS OF LESS THAN 0.05%.

2. CONCRETE COMPRESSIVE DESIGN STRENGTHS AT 28 DAYS (F'c) SHALL BE:

CONCRETE EXPOSURE & COMPRESSIVE DESIGN STRENGTHS			
DESIGNATION	CONDITIONS	EXPOSURE CLASS	MIN. f'c (psi)
HEATED: SLABS, BEAMS, GIRDERS, COLUMNS, PIERS, AND BURRIED FOOTINGS	INTERIOR CONC. & FOOTINGS	F0	2500
FOUNDATION WALLS, UN-HEATED: SLABS, BEAMS, GIRDERS, COLUMNS, PIERS, PILE CAPS, SHEAR WALLS	FREEZING & THAWING CYCLES WITH LIMITED EXPOSURE TO WATER	F1	3500

3. ALL CONCRETE WITH A DESIGNATED COMPRESSIVE STRENGTH EXCEEDING 2500 PSI SHALL REQUIRE SPECIAL INSPECTION BY AN INSPECTOR APPROVED BY THE BUILDING DEPARTMENT AND THE ENGINEER. EXCEPTION: NO INSPECTION IS REQUIRED WHERE CONCRETE EXCEEDING 2500 PSI IS DESIGNATED FOR WEATHERING PURPOSES ONLY.

4. CEMENT SHALL CONFORM TO ASTM C150, TYPE I, CSA NORMAL.

5. MAXIMUM SLUMP SHALL NOT EXCEED 4 INCHES IN FLATWORK.

6. PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH ACI 301.

7. CONCRETE SHALL BE MAINTAINED IN A MOIST CONDITION FOR A MINIMUM OF FIVE (5) DAYS AFTER PLACEMENT. ALTERNATE METHODS WILL BE APPROVED IF SATISFACTORY PERFORMANCE CAN BE ASSURED.

8. KEYED CONSTRUCTION JOINTS SHALL BE USED IN ALL CASES. ALL CONSTRUCTION JOINTS SHALL BE THOROUGHLY CLEANED AND ALL LAITANCE SHALL BE REMOVED. ALL VERTICAL JOINTS SHALL BE THOROUGHLY WETTED AND SLUSHED WITH A COAT OF NEAT CEMENT IMMEDIATELY BEFORE PLACING NEW CONCRETE.

9. SUBMIT LOCATION OF POUR JOINTS PRIOR TO PLACEMENT. POUR JOINTS SHALL BE LOCATED TO MINIMIZE EFFECTS OF SHRINKAGE AS WELL AS PLACED AT POINTS OF LOW STRESS. MAXIMUM AREA OF POUR JOINTS IS 400 SF.

10. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL FOR FORMED WORK SHALL BE AS FOLLOWS:
 EXPOSED TO EARTH OR WEATHER (#5 OR SMALLER): 1 1/2"
 EXPOSED TO EARTH OR WEATHER (#6 OR LARGER): 2"
 *NOTE: CONCRETE CAST AGAINST GROUND SHALL HAVE 3" MINIMUM COVERAGE

11. PIPES OTHER THAN ELECTRICAL CONDUITS SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED.

12. LEAN CONCRETE SHALL BE 2 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.

13. CONCRETE MIXES SHALL BE PROVIDED IN ACCORDANCE WITH ACI 318.

14. CONCRETE EXPOSED TO SULFATES, CONCRETE WITH LOW PERMEABILITY REQUIREMENTS, AND CONCRETE WITH CHLORIDE ION CONTENT REQUIRE ADDITIONAL MIX DESIGN CONSIDERATIONS. IN THE EVENT OF THESE REQUIREMENTS THE ENGINEER SHALL BE NOTIFIED BY THE CLIENT IN A WRITING AND DESIGN MIXES SHALL BE PROVIDED PER ACI 318.

CEMENT CONTENT			
F'c (PSI)	LBS/CUBIC YARD (MIN.)	SACKS PER CUBIC YARD (MIN.)	NOTES
2500	470	5	NOTE A
3500	564	6	-

NOTE 1: MIXES SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. NO MORE THAN A 1" PLUS TOLERANCE SHALL BE ALLOWED.

NOTE 2: AIR ENTRAINMENT IS REQUIRED FOR ALL CONCRETE EXPOSED TO WEATHER. FOR 3/4" AGGREGATE AN ENTRAINMENT OF 6% IS REQ'D. FOR 1/2" AGGREGATE AN AIR ENTRAINMENT OF 7% IS REQ'D.

NOTE 3: POZZOLANS ARE NOT PERMITTED IN THE MIX DESIGN UNLESS APPROVED BY THE ENGINEER.

A) WHERE SPECIAL INSPECTION IS NOT REQUIRED UNDER SECTION 1704.4 OF THE I.B.C., CONCRETE SHALL HAVE A MINIMUM CEMENT CONTENT OF 5 SACKS PER CUBIC YARD OF CONCRETE.

B) FOR STRENGTHS ABOVE 4000 PSI, PROPORTIONS SHALL BE ESTABLISHED BY THE METHODS SPECIFIED ACI 318.

C) DESIGN MIX (OTHER THAN AS SPECIFIED IN THIS TABLE) SHALL BE SUBMITTED TO THE BUILDING OFFICIAL TWO WEEKS PRIOR TO FIRST USE.

GENERAL

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CONTRACT DRAWINGS.

2. DURING THE CONSTRUCTION PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. ANY DEVIATION MUST BE APPROVED PRIOR TO ERECTION.

3. ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA PRIOR TO ERECTION.

4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION PROCEDURES INCLUDING LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.

6. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO REVIEW BY THE ENGINEER.

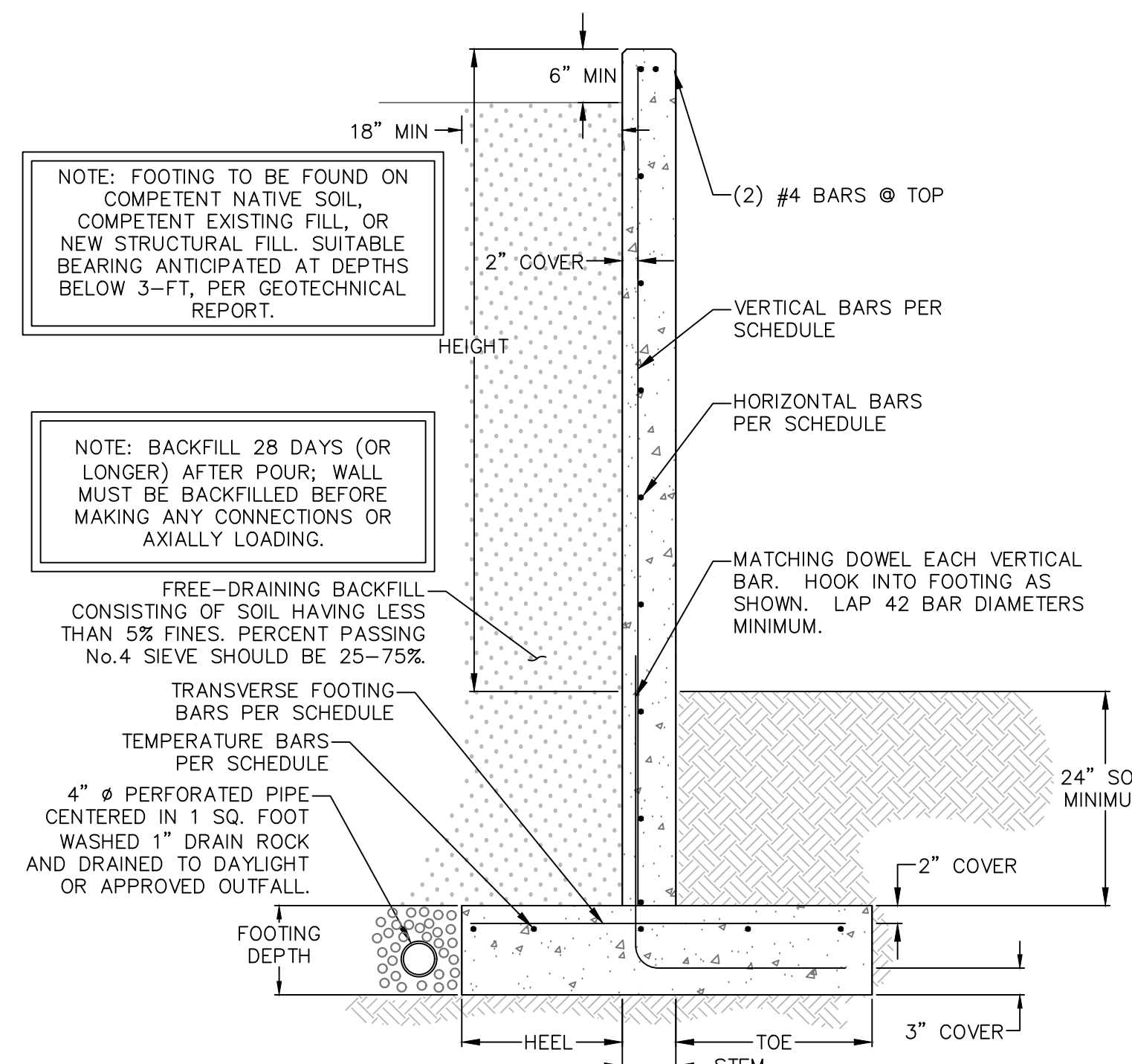
7. ALL DETAILS DESIGNATED AS STANDARD OR TYPICAL SHALL OCCUR IN ADDITION TO ANY OTHER SPECIFIC DETAIL CALLED OUT.

8. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR DUCTS, PIPES, PIPE SLEEVES, ELECTRICAL CONDUITS, AND OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR OTHERWISE INCORPORATED IN STRUCTURAL WORK.

9. PROVIDE OPENINGS AND SUPPORTS, AS REQUIRED PER STANDARD DETAILS FOR HEATERS, MECHANICAL EQUIPMENT, VENTS, DUCTS, PIPING, ETC. ALL SUSPENDED MECHANICAL EQUIPMENT SHALL BE SWAY OR LATERALLY BRACED.

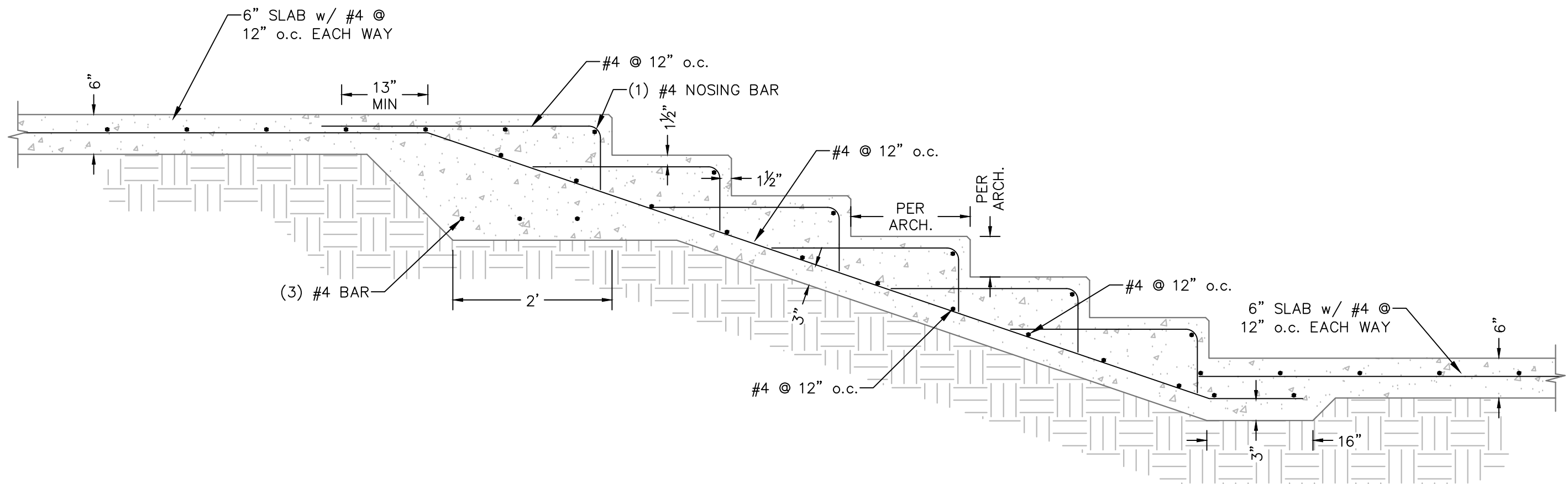
10. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE. MODIFICATION TO DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.

11. ARCHITECTURAL AND MECHANICAL PLANS ARE CONSIDERED A PART OF THE STRUCTURAL DESIGN DRAWINGS AND ARE TO BE USED TO DEFINE DETAIL CONFIGURATIONS INCLUDING; BUT NOT LIMITED TO RELATIVE LOCATION OF MEMBERS, ELEVATIONS, DIMENSIONS AND LOCATIONS OF ALL OPENINGS, ETC.

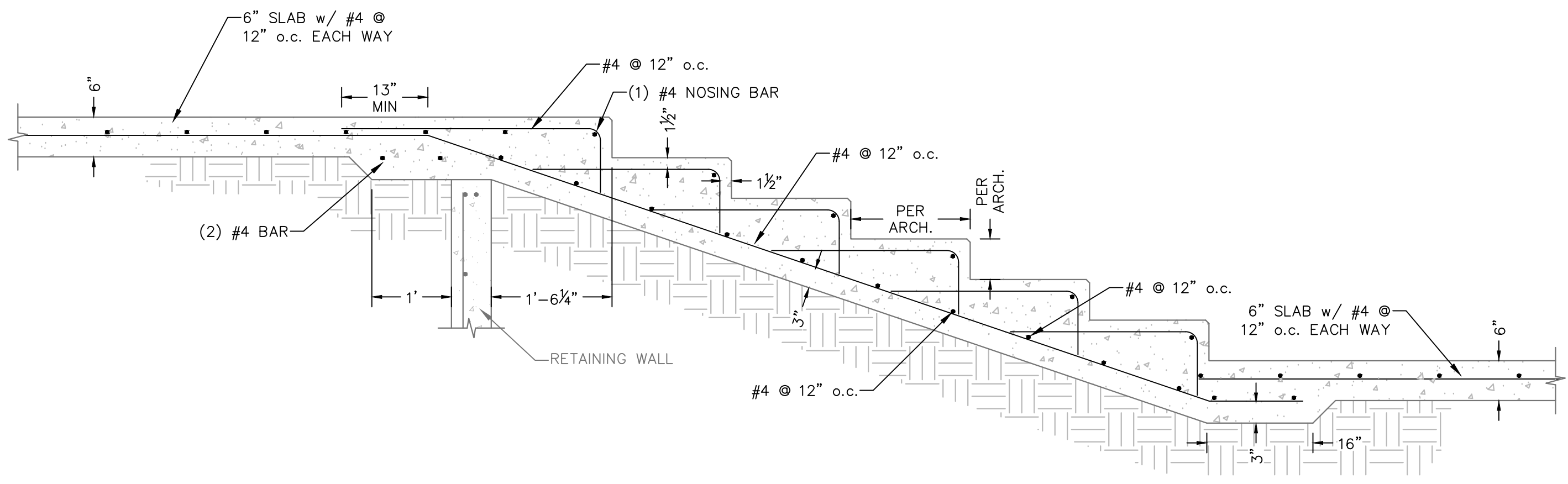


FOUNDATION WALL SCHEDULE—SLAB AT TOP								
HEIGHT	HEEL	STEM	TOE	FOOTING DEPTH	VERTICAL BARS	HORIZONTAL BARS	TRANSVERSE FOOTING BARS	TEMPERATURE BARS
3FT-6IN	18"	6"	15"	10"	#4 @ 9" o/c	#4 @ 12" o/c	#4 @ 10" o/c	#4 @ 10" o/c
4FT	18"	6"	18"	10"	#4 @ 8" o/c	#4 @ 12" o/c	#4 @ 10" o/c	#4 @ 10" o/c
4FT-6IN	18"	6"	21"	10"	#4 @ 6" o/c	#4 @ 12" o/c	#4 @ 10" o/c	#4 @ 10" o/c

1 CANTILEVER RETAINING WALL SCHEDULE



2 CONCRETE STAIR ON GRADE



3 CONCRETE STAIR ON GRADE @ RETAINING WALL

SYMBOL LEGEND:

BLKG.	BLOCKING
BOT.	BOTTOM
EXIST.	EXISTING
FDN	FOUNDATION
FTG	FOOTING
HDR	HEADER
MAX	MAXIMUM
MIN	MINIMUM
o.c.	ON CENTER
SHTG.	SHEATHING
TYP.	TYPICAL
UNO	UNLESS NOTED OTHERWISE
(JST#_)	JOIST
(BM#_)	BEAM
(RAF#_)	RAFTER
(STRG#_)	STRINGER
(RB#_)	ROOF BEAM
(UB#_)	UPPER LEVEL BEAM
(MB#_)	MAIN LEVEL BEAM
(BB#_)	BASEMENT LEVEL BEAM
(DB#_)	DECK BEAM



Structural Design Associates
 3006 RUCKER AVE
 Everett, WA 98201
 PHONE: 425.339.0293
 www.sdaveverett.com

NO.	DATE	BY	REVISION	CRL	ISSUED
0	02-24-24				

ROJAS RETAINING WALLS
 6236 EAST MERCER WAY
 MERCER ISLAND, WA 98040



FEB 27, 2023

Drawn By: CHRIS L.
 Checked By: CHRIS
 Date: 02-24-2024

SDA JOB NO.
 9993

STRUCTURAL NOTES
 S-1.0



Structural Design Associates

3006 RUCKER AVE
Everett, WA 98201
PHONE: 425.339.0293
www.sdaveverett.com

NO.	DATE	BY	REVISION	ISSUED
0	02-24-24	CRJ		

ROJAS RETAINING WALLS
6236 EAST MERCER WAY
MERCER ISLAND, WA 98040

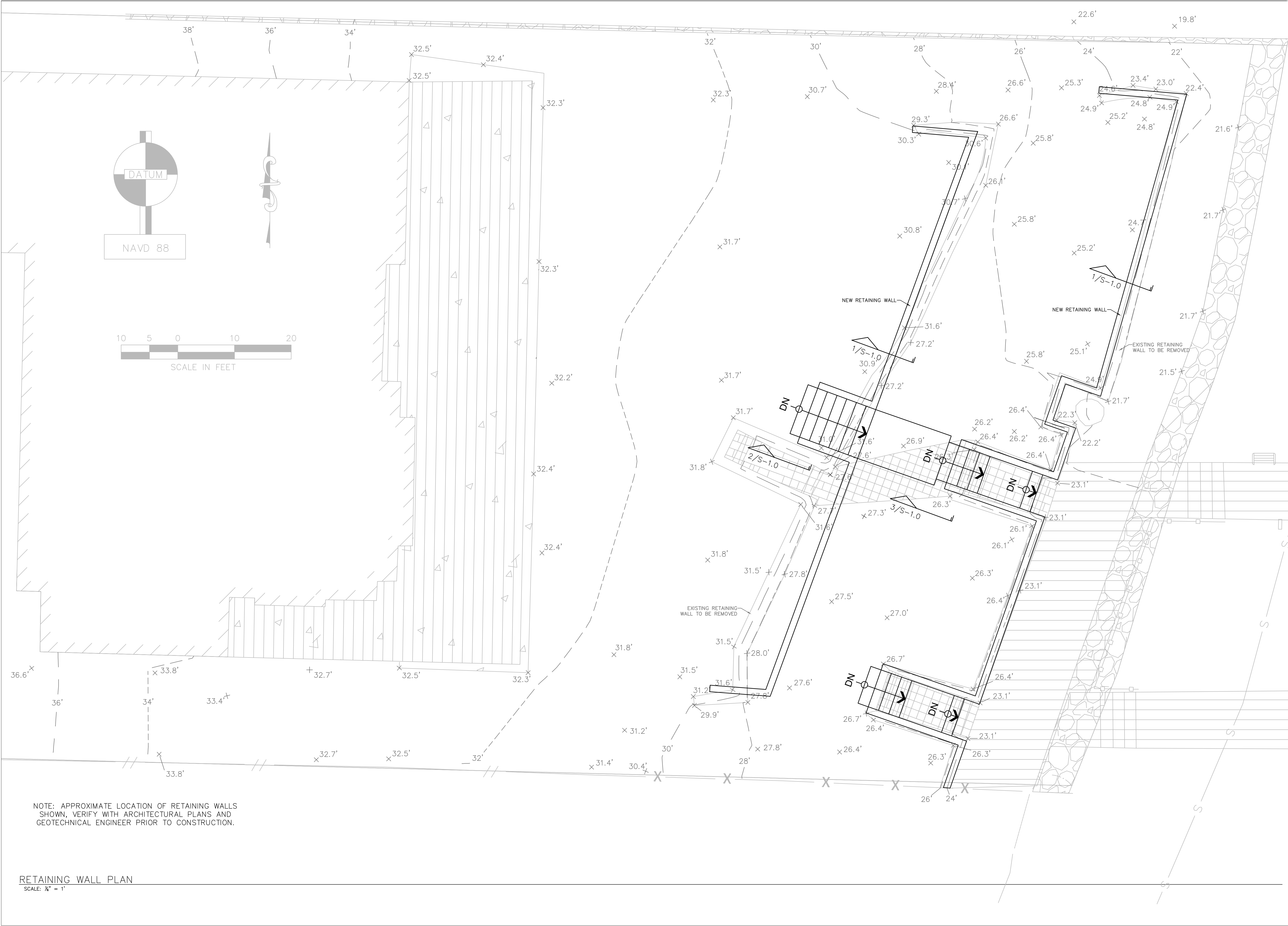


FEB 27, 2023

Drawn By: CHRIS L.
Checked By: CHRIS
Date: 02-24-2024

SDA JOB NO.
9993

STRUCTURAL
PLAN
S-1.1



NOTE: APPROXIMATE LOCATION OF RETAINING WALLS SHOWN, VERIFY WITH ARCHITECTURAL PLANS AND GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.

RETAINING WALL PLAN
SCALE: 1/4" = 1'